

DEFINITIVE SITE PLAN
FOR
224 BROOKS STREET
WORCESTER, MASSACHUSETTS 01606

RECORD APPLICANT:
ROBERT CLARK
84 CODERRE STREET
BOYLSTON, MA 01505

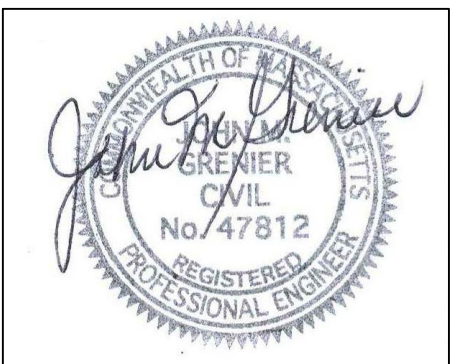
RECORD OWNER:
ROBERT CLARK
84 CODERRE STREET
BOYLSTON, MA 01505

LAND PLANNERS—CIVIL ENGINEERS:
J.M. GRENIER ASSOCIATES INC.
325 DONALD LYNCH BOULEVARD SUITE 100
MARLBOROUGH, MA 01752
(508) 845-2500

LAND SURVEYORS:
ROBERT D. O'NEIL, JR
66 DRURY LANE
WORCESTER, MA 01609

ZONING DISTRICT: RESIDENCE, LIMITED (RL-7)

INDEX DESCRIPTION	SHEET NUMBER
COVER	1 OF 7
EXISTING CONDITIONS PLANS	2 OF 7
LAYOUT PLAN	3 OF 7
GRADING AND DRAINAGE PLAN	4 OF 7
UTILITY PLAN	5 OF 7
EROSION & SEDIMENTATION CONTROL PLAN	6 OF 7
DETAIL PLANS	7 OF 7



7/20/20

REV. NO.	DATE	REVISION
SCALE: AS SHOWN		DATE: JULY 20, 2020
COVER SHEET		
SHEET NO.: SHEET 1 OF 7		PROJECT NO.: G-572

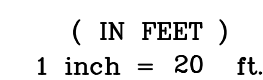


- LEGEND:**
- | | |
|--|-------------------------|
| | EXISTING PROPERTY LINE |
| | EXISTING CONTOUR - HIGH |
| | EXISTING CONTOUR - LOW |
| | CATCH BASIN BUFFER |
| | EXISTING EDGE PAVEMENT |
| | EXISTING CURB |
| | EXISTING DRAIN LINE |
| | EXISTING WATER LINE |
| | EXISTING SEWER LINE |
| | EXISTING GAS LINE |
| | EXISTING OVERHEAD WIRES |
| | EXISTING TREE LINE |
| | ZONE LINE |

NOTES:

1. EXISTING CONDITIONS SURVEY BY ROBERT D. O'NEIL, JR 66 DRURY LANE WORCESTER, MA 01609.
2. REFERENCE CITY OF WORCESTER ASSESSOR'S MAP 23 BLOCK 3 LOT 2-4.
3. REFERENCE WORCESTER REGISTRY OF DEEDS BOOK 61594 PAGE 46.
4. REFERENCE WORCESTER REGISTRY OF DEEDS PLAN BOOK 478 PLAN 99.
5. DATUM IS NAVD88.
6. EXISTING SOILS ON SITE ARE PAXTON FINE SANDY LOAM (SOIL CLASS C) AND URBAN LAND.

GRAPHIC SCALE



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FOR
224 BROOKS STREET
WORCESTER, MASSACHUSETTS 01606

PREPARED FOR: ROBERT CLARK
84 CODERRE STREET
BOYLSTON, MASSACHUSETTS 01505

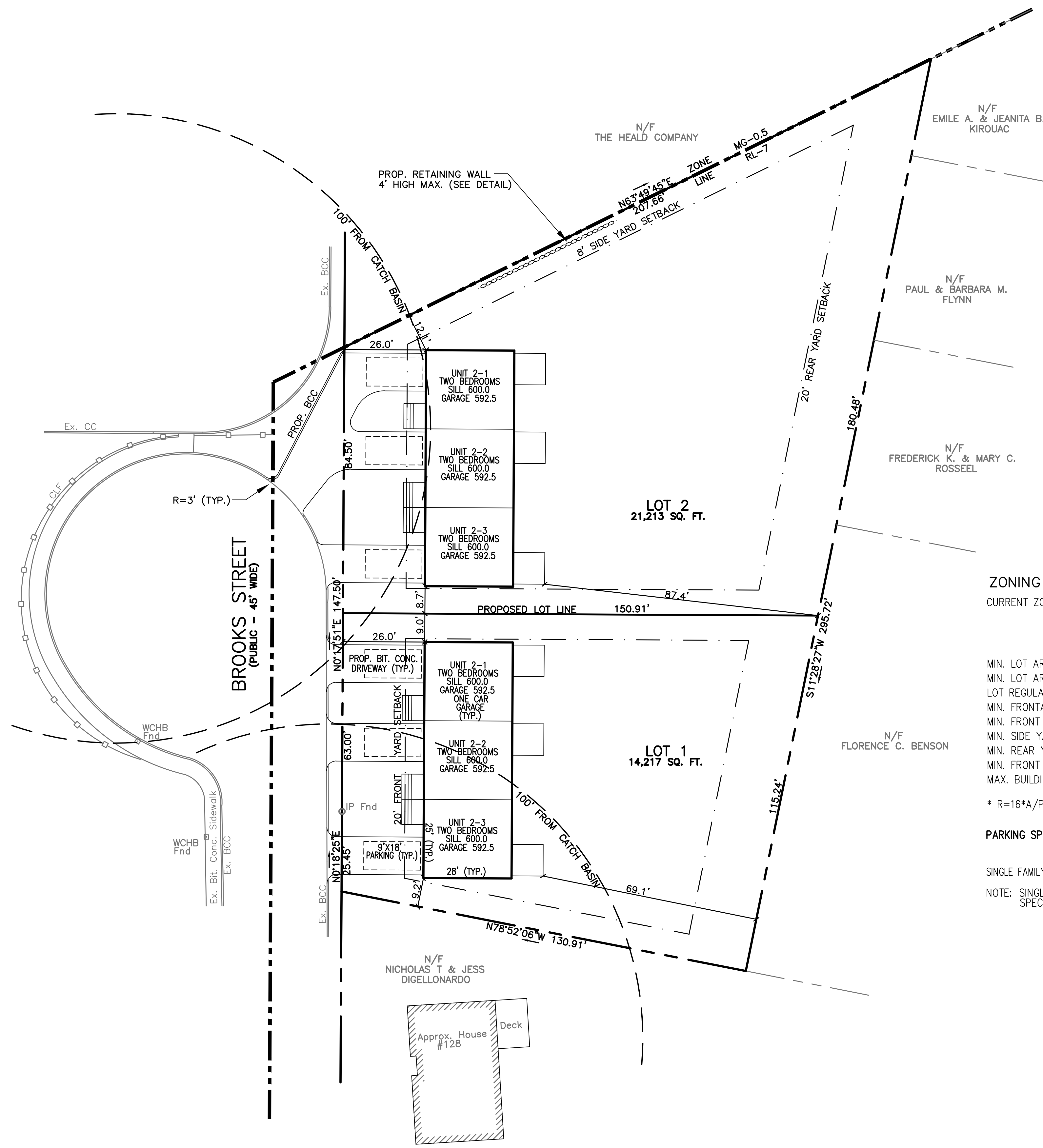
PROPERTY OWNER:
ROBERT CLARK
84 CODERRE STREET
BOYLSTON, MASSACHUSETTS 01505

PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
325 DONALD LYNCH BOULEVARD SUITE 100
MARLBOROUGH, MASSACHUSETTS 01752

TELE NO.: (508) 845-2500	
SCALE: 1" = 20'	DATE: JULY 20, 2020

EXISTING CONDITIONS PLAN

SHEET NO.:	PROJECT NO.:
SHEET 2 OF 7	G-572



ZONING SUMMARY

CURRENT ZONE: RESIDENCE, LIMITED (RL-7)

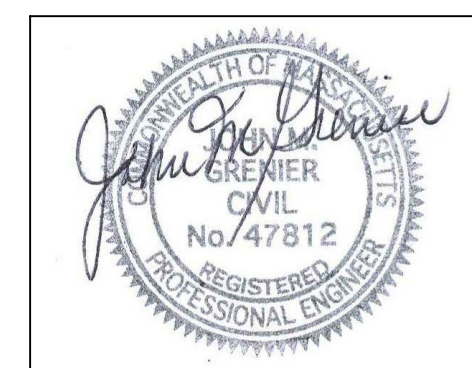
	REQUIRED SINGLE FAMILY ATTACHED	PROPOSED LOT 1	PROPOSED LOT 2
MIN. LOT AREA/D.U.	3,000 SQ.FT./D.U.	4,739 SQ.FT./D.U.	7,071 SQ.FT./D.U.
MIN. LOT AREA	9,000 SQ.FT.	14,217 SQ.FT.	21,213 SQ.FT.
LOT REGULARITY FACTOR*	0.4	0.965	0.872
MIN. FRONTAGE	25'/DU	88.45'	84.50'
MIN. FRONT YARD SETBACK	20'	26.0'	26.0'
MIN. SIDE YARD SETBACK	8'	9.0'	8.7'
MIN. REAR YARD SETBACK	20'	69.1'	87.4'
MIN. FRONT YARD IMPERVIOUS	50%	46.7%	49.0%
MAX. BUILDING HEIGHT	35' (2 STORIES)	<35' (2 STORIES)	<35' (2 STORIES)

* R=16*A/P^2, WHERE A=AREA AND P=PERIMETER

PARKING SPACE REQUIREMENTS

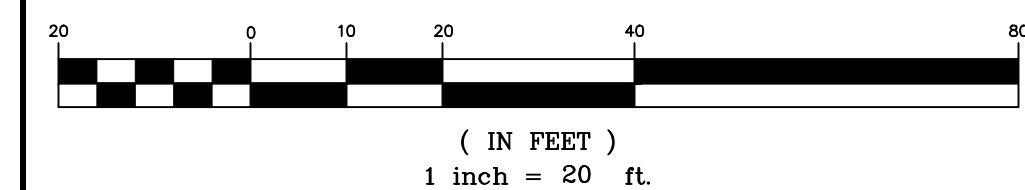
USE	REQUIRED	PROPOSED
SINGLE FAMILY ATTACHED: 2/D.U X 6 UNITS =	12 SPACES	12 SPACES

NOTE: SINGLE FAMILY ATTACHED USE IN RL-7 ZONING DISTRICT REQUIRES SPECIAL PERMIT FROM ZONING BOARD OF APPEALS

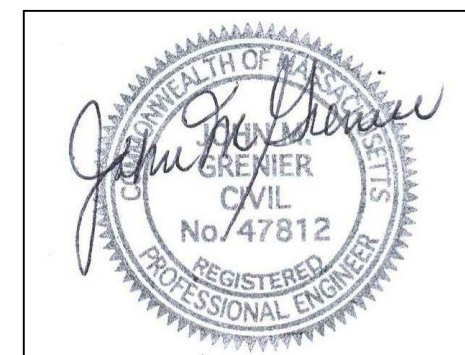
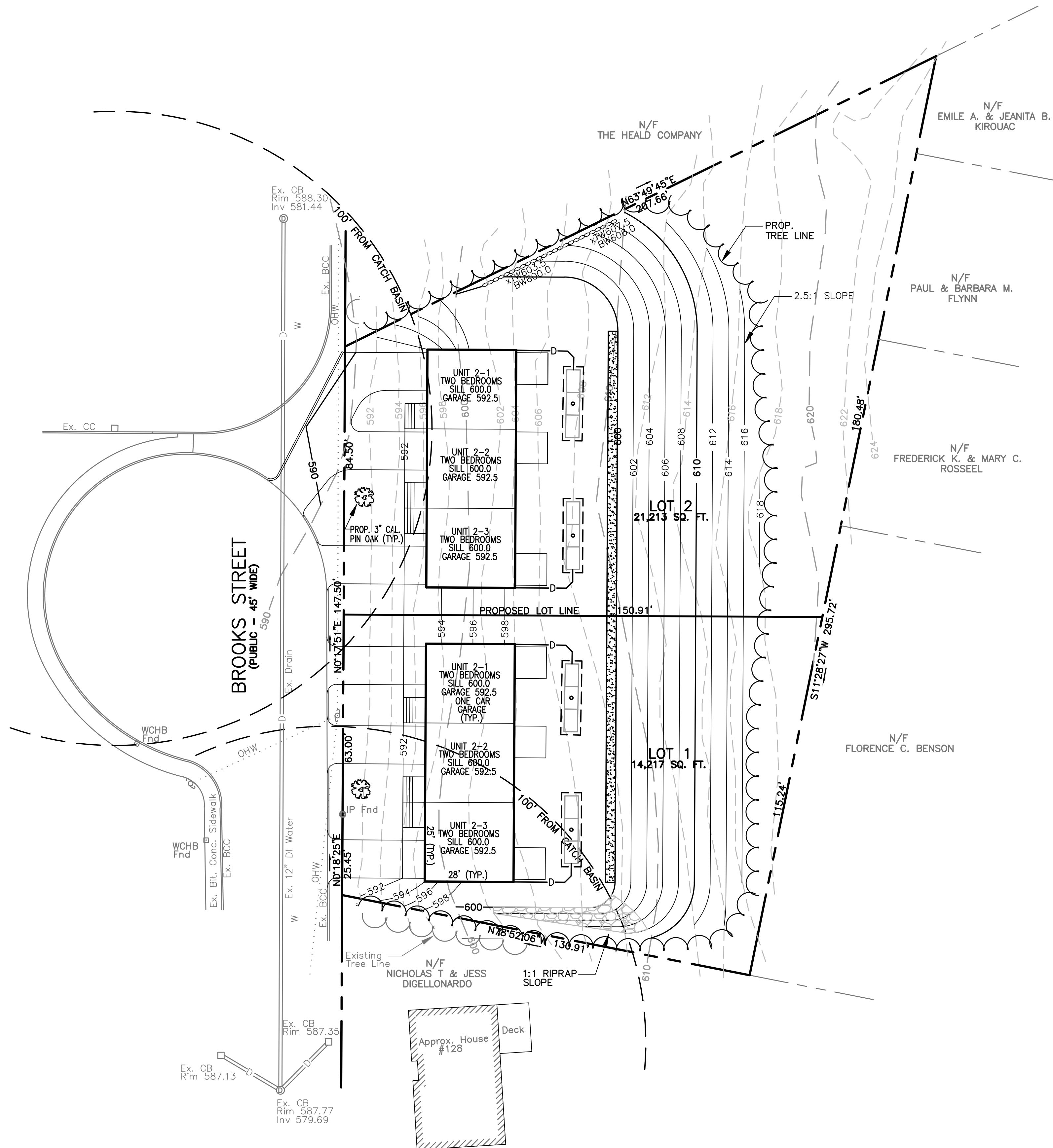


- LEGEND:
- EXISTING PROPERTY LINE
 - PROPOSED PROPERTY LINE
 - EXISTING CONTOUR - HIGH
 - EXISTING CONTOUR - LOW
 - PROPOSED CONTOUR - HIGH
 - PROPOSED CONTOUR - LOW
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 - EXISTING EDGE PAVEMENT
 - EXISTING CURB
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 - PROPOSED TREE LINE
 - PROPOSED EROSION CONTROL
 - ZONE LINE

GRAPHIC SCALE



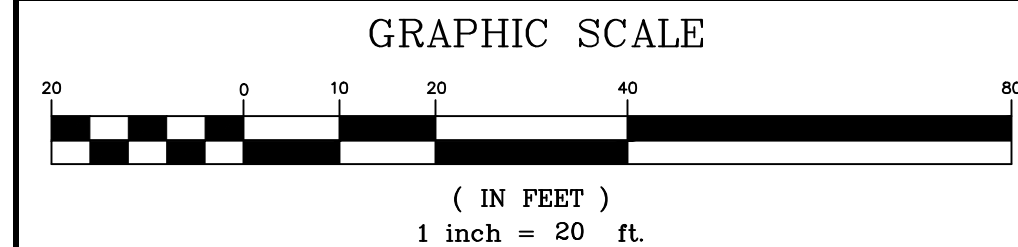
REV. NO.	DATE	REVISION
TITLE:		
DEFINITIVE SITE PLAN FOR 224 BROOKS STREET WORCESTER, MASSACHUSETTS 01606		
PREPARED FOR:		
ROBERT CLARK 84 CODERRE STREET BOYLSTON, MASSACHUSETTS 01505		
PROPERTY OWNER:		
ROBERT CLARK 84 CODERRE STREET BOYLSTON, MASSACHUSETTS 01505		
PREPARED BY:		
J.M. GRENIER ASSOCIATES INC. 325 DONALD LYNCH BOULEVARD SUITE 100 MARLBOROUGH, MASSACHUSETTS 01752		
TELE. NO.: (508) 845-2500		
SCALE:	DATE:	
1" = 20'	JULY 20, 2020	
LAYOUT PLAN		
SHEET NO.:	PROJECT NO.:	
SHEET 3 OF 7	G-572	



7/17/20

- LEGEND:**
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 - PROPOSED PROPERTY LINE
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 - EXISTING TREE LINE
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 - PROPOSED EROSION CONTROL
 - ZONE LINE

- NOTES:**
- ALL PLANTINGS SHALL BE ASIAN LONGHORNED BEETLE (ALB) RESISTANT.



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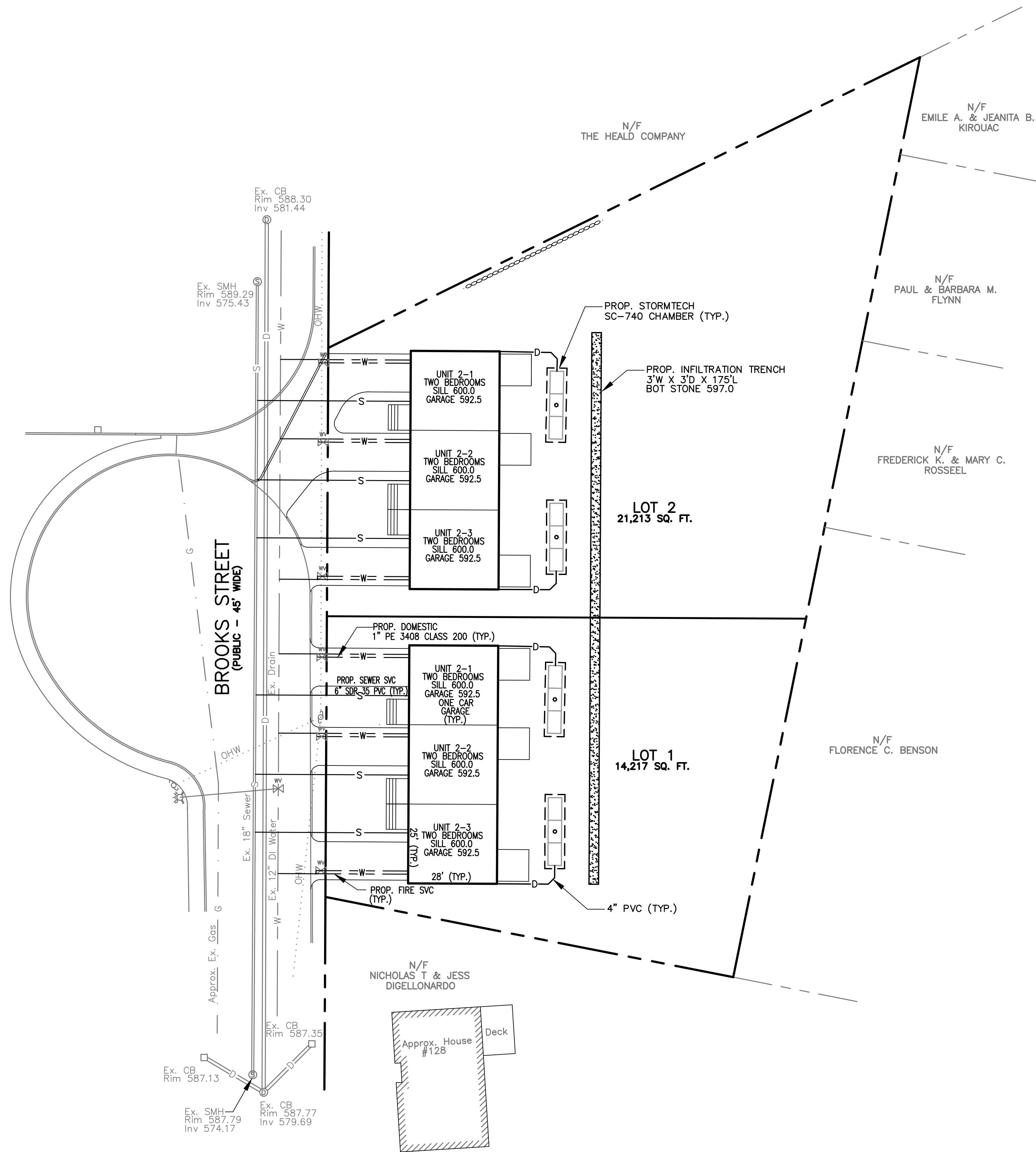
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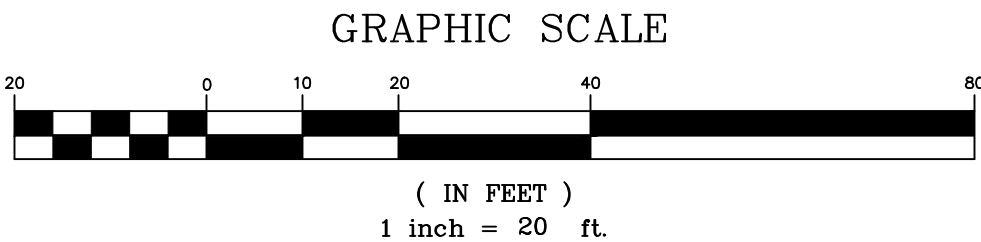
GRADING AND DRAINAGE PLAN

SHEET NO.: SHEET 4 OF 7
PROJECT NO.: G-572



- LEGEND:**
- EXISTING PROPERTY LINE
 - PROPOSED PROPERTY LINE
 - EXISTING CONTOUR - HIGH
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 - PROPOSED CONTOUR - HIGH
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 - EXISTING GAS LINE
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 - PROPOSED TREE LINE
 - PROPOSED EROSION CONTROL
 - ZONE LINE

- NOTES:**
- ALL TRENCHES WITHIN BROOKS STREET SHALL BE BACKFILLED AS REQUIRED BY THE CITY OF WORCESTER.
 - EXISTING CATCH BASINS WITHIN 100' OF THE PROPERTY MUST BE PROTECTED WITH INLET PROTECTION AT ALL TIMES UNTIL THE SITE IS FULLY STABILIZED.
 - SEWER SHALL BE INSTALLED WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET FROM ALL WATER SUPPLY LINES. WHEN A 10 FOOT SEPARATION CANNOT BE MAINTAINED THE WATER MAIN SHALL BE INSTALLED IN A SEPARATE TRENCH ABOVE THE SEWER WITH AN 18 INCH VERTICAL SEPARATION BETWEEN THE CROWN OF THE SEWER AND THE INVERT OF THE WATER MAIN. ADEQUATE VERTICAL SEPARATION OF WATER/SEWER CROSSING SHALL BE CONFIRMED.
 - SIZE OF FIRE SERVICE LINE TO BE DETERMINED BY FIRE FLOW REQUIREMENTS
 - DOMESTIC WATER LINE SHALL BE SLEEVED UNDER FOOTING WITH 2" MINIMUM DIAMETER CONDUIT.
 - CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-344-7233 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION.
 - CONTRACTOR SHALL FIELD VERIFY DIMENSIONS AND CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 - SHOULD FIELD CONDITIONS VARY FROM THOSE SHOWN, ENGINEER SHALL BE CONTACTED PRIOR TO COMMENCEMENT OF SITE CONSTRUCTION.
 - EXTERIOR MATERIALS ARE TO BE VINYL SIDING WITH ASPHALT ROOF SHINGLES.



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BOYLSTON, MASSACHUSETTS 01505

PROPERTY OWNER:

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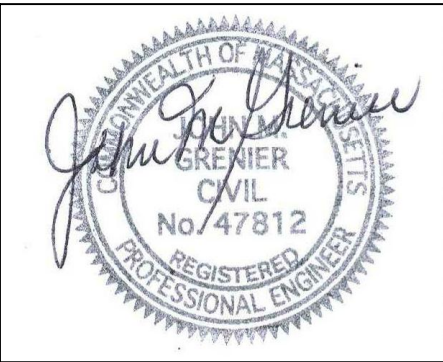
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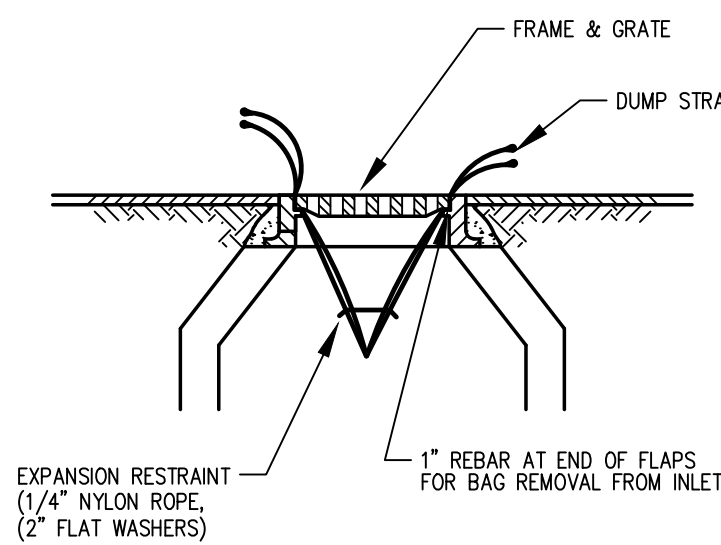
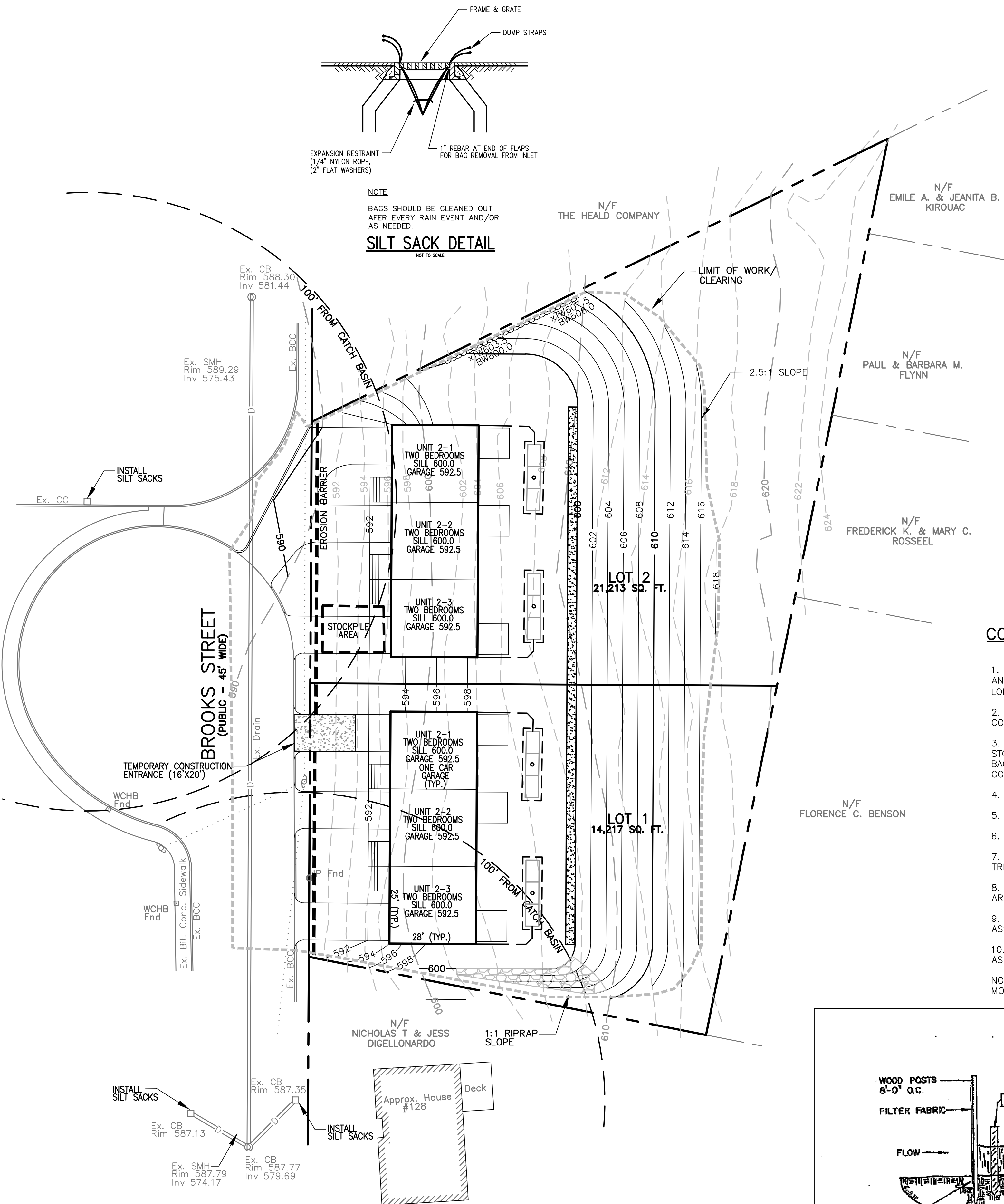
SCALE: 1" = 20'	DATE: JULY 20, 2020
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UTILITY PLAN

SHEET NO.: SHEET 5 OF 7	PROJECT NO.: G-572
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NOTE:
BAGS SHOULD BE CLEANED OUT
AFTER EVERY RAIN EVENT AND/OR
AS NEEDED.

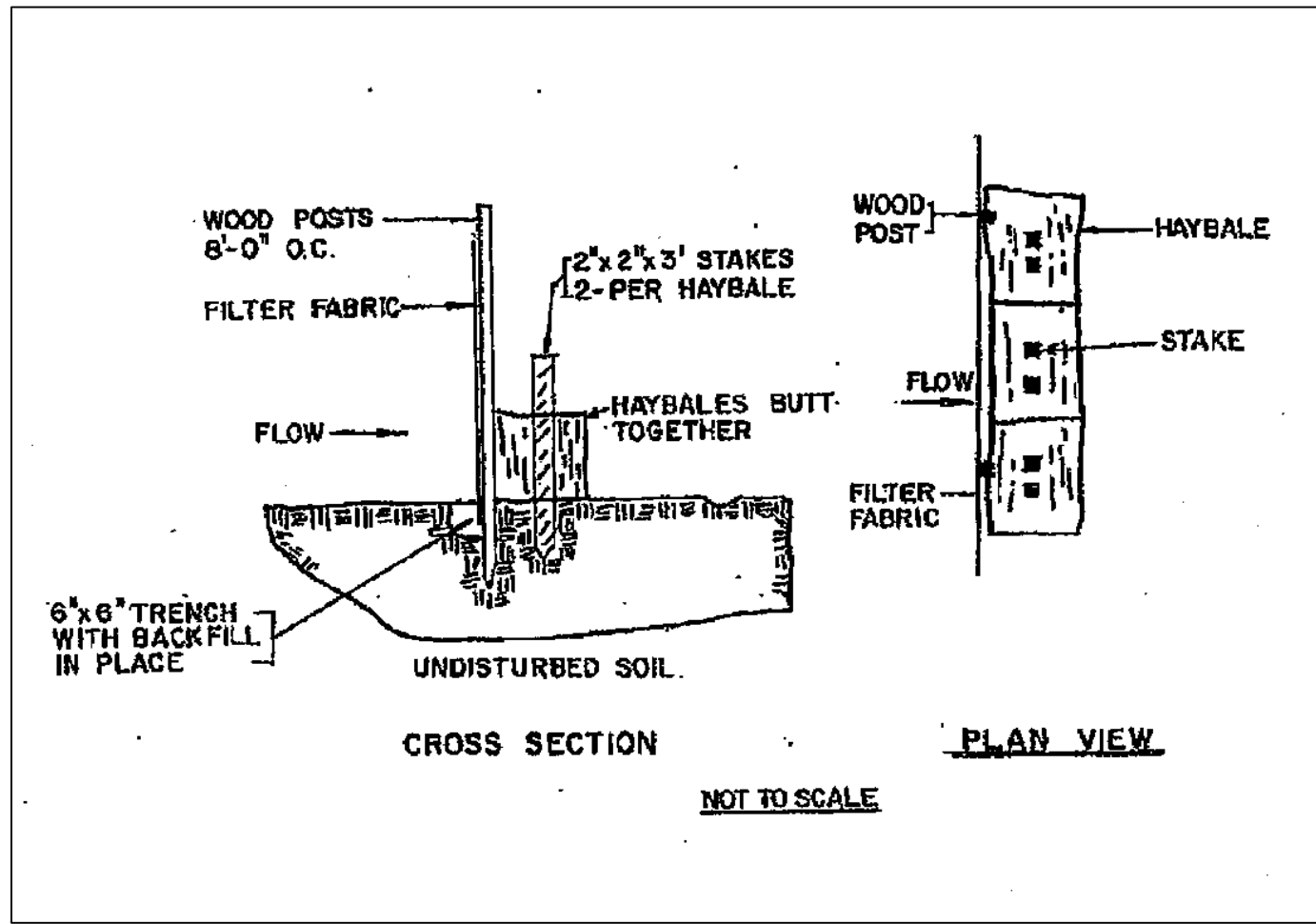
SILT SACK DETAIL
NOT TO SCALE

- Seeding and repairs shall be performed as required. Sediment and debris shall be removed at least once a year, typically in early spring prior to the commencement of the growing season.
 - The infiltration chambers shall be inspected after every major storm for the first 3 months to ensure proper stabilization and function. The chambers shall be inspected once per year after that. Water levels should be inspected and recorded for several days after a major storm event to track infiltration capability.
 - The infiltration trench shall be inspected after every major storm for the first 3 months to ensure proper stabilization and function. The chambers shall be inspected once per year after that. Water levels should be inspected and recorded for several days after a major storm event to track infiltration capability.
 - The contractor will be responsible for the maintenance of all drainage structures and until such time as the site work is complete. The maintenance will then be the responsibility of the property owners.
- STORMWATER COLLECTION & TREATMENT SYSTEM
INSPECTION & MAINTENANCE GUIDELINES**

CONSTRUCTION SEQUENCING:

- SELECTIVELY CUT TREES AND CLEAR BRUSH TO BE CHIPPED AND HAULED OFF SITE. NOTE THAT THE SITE IS IN THE ASIAN LONGHORNED BEETLE (ALB) REGULATED AREA.
- STAKE LOCATION OF AND INSTALL EROSION CONTROL BARRIER, CONSTRUCTION ENTRANCE AS DELINEATED ON SITE PLAN.
- STRIP TOP AND SUBSOIL AS NECESSARY IN WORK AREA. STOCKPILE MATERIAL ON CENTRAL PORTION OF LOT FOR BACKFILLING PURPOSES AT COMPLETION OF FOUNDATION CONSTRUCTION.
- FORM AND POUR FOUNDATION FOR NEW BUILDINGS.
- BACKFILL FOUNDATION AREAS AS NECESSARY.
- CONSTRUCT BUILDINGS.
- INSTALL RECHARGE CHAMBERS AND CONSTRUCT INFILTRATION TRENCH.
- CONSTRUCT DRIVEWAYS AND LOAM AND SEED DISTURBED AREAS.
- ALL EXCESS MATERIALS TO BE REMOVED FROM THE SITE AS SOON AS PRACTICAL.
- ALL GRADED AREAS TO BE LANDSCAPED, LOAMED AND SEED AS SOON AS PRACTICAL TO REDUCE ANY POTENTIAL EROSION.

NOTE: PROCESSES AS DESCRIBED ABOVE ARE ESTIMATED TO TAKE 9 MONTHS. WINTER CONDITIONS MAY AFFECT THIS SCHEDULE.



SILTATION CONTROL
NOT TO SCALE

GENERAL:

- THIS PLAN IS INTENDED TO PROVIDE GUIDANCE AND INSTRUCTION TO THE CITY OF WORCESTER AND THE CONTRACTOR(S) IN THE PREVENTION OF EROSION AND SEDIMENTATION OFF SITE. THIS PLAN IS INTENDED TO ALLOW ANY CONDITIONS OF APPROVAL TO BE MORE SPECIFIC IN ADDRESSING ITEMS OF CONCERN. IF CONDITIONS BY THE CITY OF WORCESTER ARE IN CONFLICT WITH REQUIREMENTS AS SPECIFIED ON THE PLANS CONDITIONS AS SPECIFIED BY THE CITY OF WORCESTER SHALL SUPERSEDE THE REQUIREMENTS SPECIFIED ON THESE PLANS.

PRE-CONSTRUCTION:

- AN EROSION CONTROL BARRIER (SEE BELOW) SHALL BE INSTALLED AS DEPICTED ON THE PLANS, BETWEEN THE AREAS TO BE DISTURBED AND RECEIVING DRAINAGE WAY AND STRUCTURES. THIS BARRIER SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY SURFACES HAVE BEEN FULLY STABILIZED. THE EROSION CONTROL BARRIERS AS SHOWN ON THE PLANS ARE THE MINIMUM PROTECTIVE MEASURES REQUIRED TO PROTECT THE ON AND OFF SITE DRAINAGE SYSTEMS.
- THE CONTRACTOR SHALL ESTABLISH A STAGING AREA AS SHOWN ON THE PLAN FOR THE OVERNIGHT STORAGE OF EQUIPMENT AND STOCKPILING OF MATERIALS.
- IN THE STAGING AREA, THE CONTRACTOR SHALL HAVE A STOCKPILE OF MATERIALS REQUIRED TO CONTROL EROSION ON-SITE TO BE USED TO SUPPLEMENT OR REPAIR EROSION CONTROL DEVICES. THESE MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO: HAY BALES, SILT FENCE AND CRUSHED STONE.
- A TEMPORARY STONE CONSTRUCTION ENTRANCE IS REQUIRED TO PREVENT TRACKING OF SILT, MUD, ETC. ONTO EXISTING ROADS. THE STONE SHALL BE REPLACED REGULARLY AS WELL AS WHEN THE STONE IS SILT LOADED OR EQUIPMENT IS OBSERVED TO BE TRACKING SOIL ONTO THE ROADWAYS. SEE GENERAL CONSTRUCTION REQUIREMENTS, SEE NOTE #4 BELOW.
- THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL ON & OFF SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED HEREIN, ON THE PLAN OR IN ANY ORDER OF CONDITIONS.

PRELIMINARY SITE WORK:

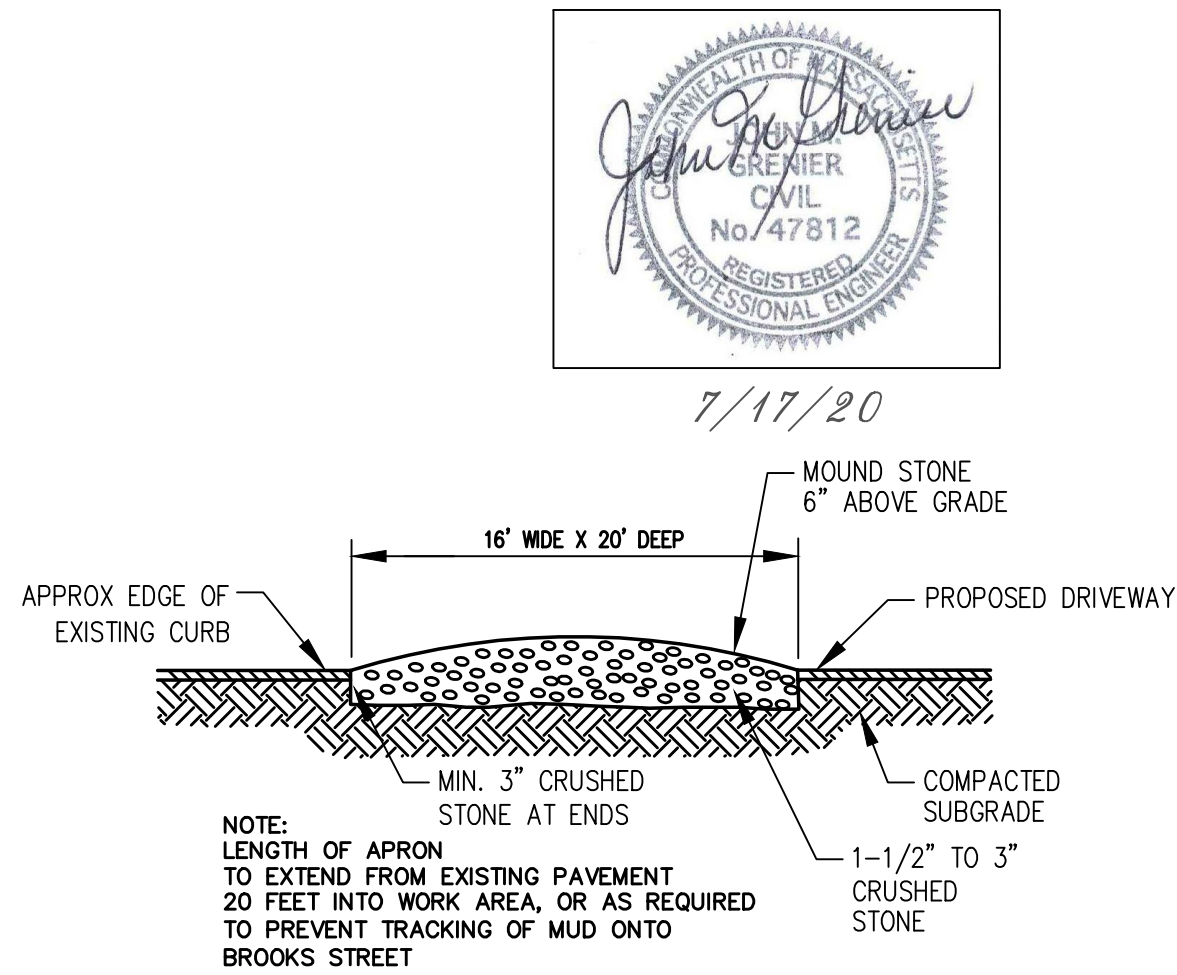
- MATERIAL REMOVED SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE OR IN A SECURED OFF SITE AREA APPROVED BY THE OWNER. EROSION CONTROLS SHALL BE UTILIZED ALONG THE DOWN SLOPE OF THE PILES IF THE PILES ARE TO REMAIN FOR MORE THAN THREE WEEKS.
- IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL HAY BALE DIKES, SILT FENCES, OR ARMORED DIKES SHALL BE UTILIZED.
- IF THE SITE CONSTRUCTION OCCURS AT ANY TIME OTHER THAN THE APRIL - DECEMBER CONSTRUCTION SEASON, ALL DRAINAGE SYSTEMS TEMPORARY OR PERMANENT SHALL MAINTAIN TO ENSURE ADEQUATE HYDRAULIC CAPACITY, AND DRAINING CHARACTERISTICS.

EROSION CONTROL MEASURES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT EROSION AND SEDIMENTATION ARE CONTROLLED. THIS PLAN SHALL BE ADAPTED TO FIT THE CONTRACTOR'S EQUIPMENT, WEATHER CONDITIONS, AND ANY CONDITIONS ISSUED BY THE CITY OF WORCESTER.
- THE MOST IMPORTANT ASPECTS OF CONTROLLING EROSION AND SEDIMENTATION ARE: LIMITING THE EXTENT OF DISTURBANCE AND STABILIZING SURFACES AS SOON AS POSSIBLE. OF SECONDARY IMPORTANCE IN EROSION CONTROL IS THE LIMITING THE SIZE AND LENGTH OF THE TRIBUTARY DRAINAGE AREA WITHIN THE WORK SITE AND DRAINAGE STRUCTURES. THESE FUNDAMENTAL PRINCIPLES SHALL BE THE KEY FACTOR IN THE CONTRACTOR'S CONTROL OF EROSION ON THE SITE.
- THE EXISTING SOIL CONDITIONS PROVIDE THE POTENTIAL OF RUNOFF TO OFF-SITE AREAS WITH EROSION POTENTIAL.
- ALL DISTURBED SURFACES SHALL BE STABILIZED A MINIMUM OF 14 DAYS AFTER CONSTRUCTION IN ANY PORTION OF THE SITE HAS CEASED OR IS TEMPORARILY HALTED UNLESS ADDITIONAL CONSTRUCTION IS INTENDED TO BE INITIATED WITHIN 21 DAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION CONTROL DEVICES WITHIN THE LIMIT OF WORK. ALL EROSION CONTROL DEVICES SHALL BE REGULARLY INSPECTED. ANY SEDIMENTS REMOVED FROM THE CONTROL DEVICES SHALL BE DISPOSED OF.
- AT NO TIME SHALL SILT-LADEN WATER BE ALLOWED TO ENTER SENSITIVE AREAS (WETLANDS, OFF-SITE AREAS AND DRAINAGE SYSTEMS). ANY RUNOFF FROM DISTURBED SURFACES SHALL BE DIRECTED THROUGH SETTLING BASINS AND EROSION CONTROL BARRIERS PRIOR TO ENTERING ANY SENSITIVE AREAS.

GENERAL CONSTRUCTION REQUIREMENTS:

- ANY REFUELING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL NOT TAKE PLACE INSIDE OF A 100 FOOT BUFFER ZONE, NEAR THE ENTRANCE TO ANY DRAINAGE SYSTEM AND SHALL NOT BE CONDUCTED IN PROXIMITY TO SEDIMENTATION BASINS.
 - NO ON-SITE DISPOSAL OF STUMPS, SOLID WASTE, INCLUDING CONSTRUCTION MATERIALS IS ALLOWED.
 - NO MATERIALS SHALL BE DISPOSED OF INTO THE WETLANDS, OR EXISTING/PROPOSED DRAINAGE SYSTEMS. ALL CONTRACTORS INCLUDING CONCRETE SUPPLIERS, PAINTERS AND PLASTERERS, SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE THE WASH-WATER WILL DRAIN DIRECTLY TO THE SITE DRAINAGE SYSTEMS.
 - THE CONTRACTOR SHALL UNDERTAKE ALL WORK TO LIMIT AIRBORNE SEDIMENTS, ONLY CLEAN, POTABLE WATER MAY BE USED TO CONTROL DUST.
- LANDSCAPING:**
- LANDSCAPING SHALL OCCUR AS SOON AS POSSIBLE TO PROVIDE PERMANENT STABILIZATION OF DISTURBED SURFACES.
 - CONTRACTOR SHALL UTILIZE A VARIETY OF SLOPE STABILIZATION METHODS AND MATERIALS WHICH SHALL BE ADJUSTED TO THE SITE CONDITIONS. EROSION CONTROL BLANKETS OR MIRAFI MIRAMAT (OR SIMILAR PRODUCTS) SHALL BE AVAILABLE ON SITE.
 - IF THE SEASON OR ADVERSE WEATHER CONDITIONS DO NOT ALLOW THE ESTABLISHMENT OF VEGETATION, TEMPORARY MULCHING WITH HAY, TACKIFIED WOOD CHIPS OR OTHER METHODS SHALL BE PROVIDED.
 - ALL DISTURBED SURFACES TO BE PLANTED SHALL RECEIVE A MINIMUM OF 6" TOPSOIL. SHALL BE PLACED AND ITS SURFACE SMOOTHED TO THE SPECIFIED GRADES.
 - ALL SLOPES OF 2.5:1 OR GREATER SHALL BE STABILIZED WITH EROSION CONTROL FABRIC.
 - TO ENSURE A DENSE, SUCCESSION GROWTH, SEED IS REQUIRED ON ALL DISTURBED SURFACES.

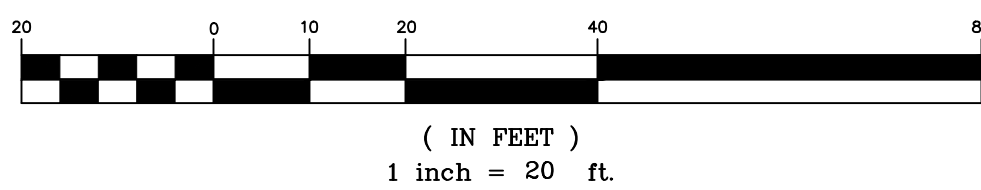


CONSTRUCTION ENTRANCE APRON
NOT TO SCALE

LEGEND:

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- EXISTING CONTOUR - HIGH
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- PROPOSED EROSION CONTROL
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GRAPHIC SCALE



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WORCESTER, MASSACHUSETTS 01606**

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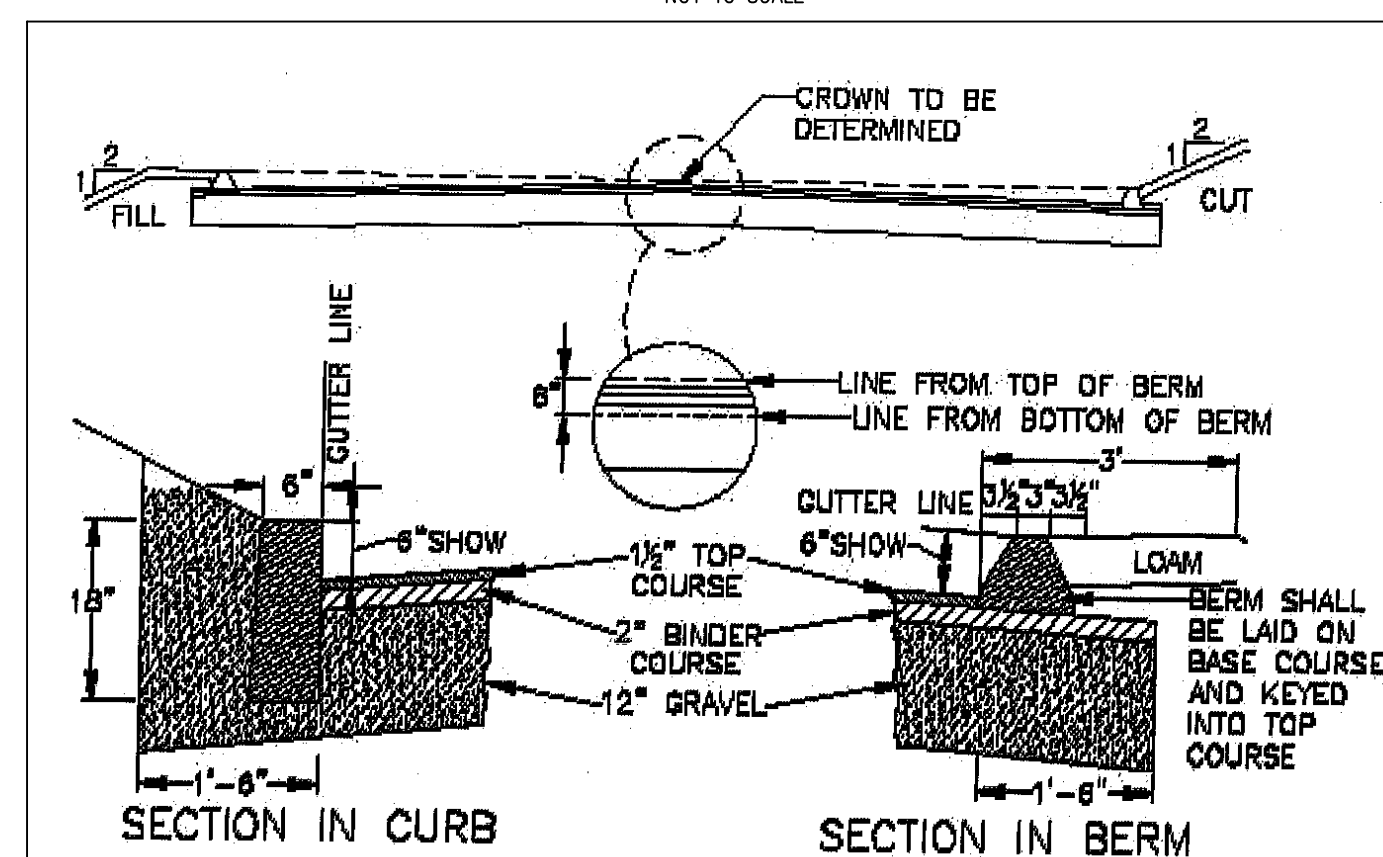
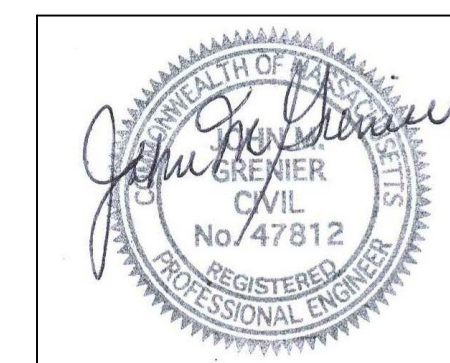
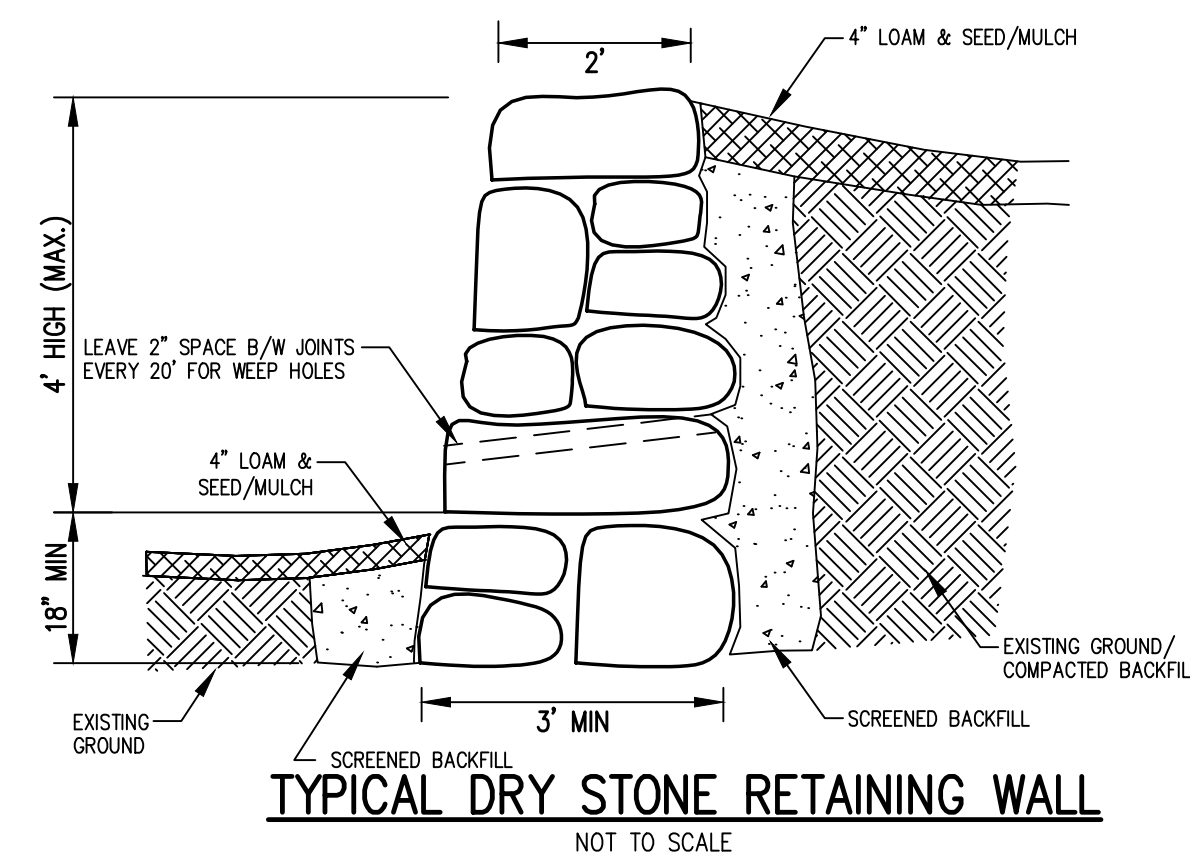
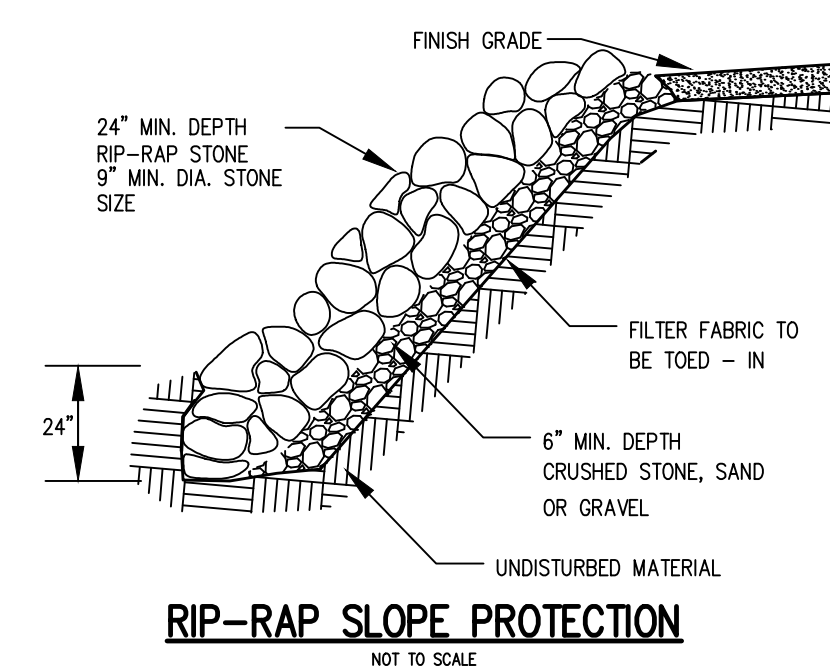
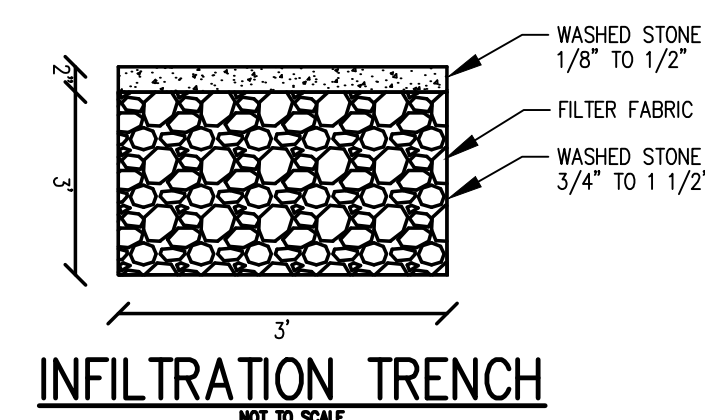
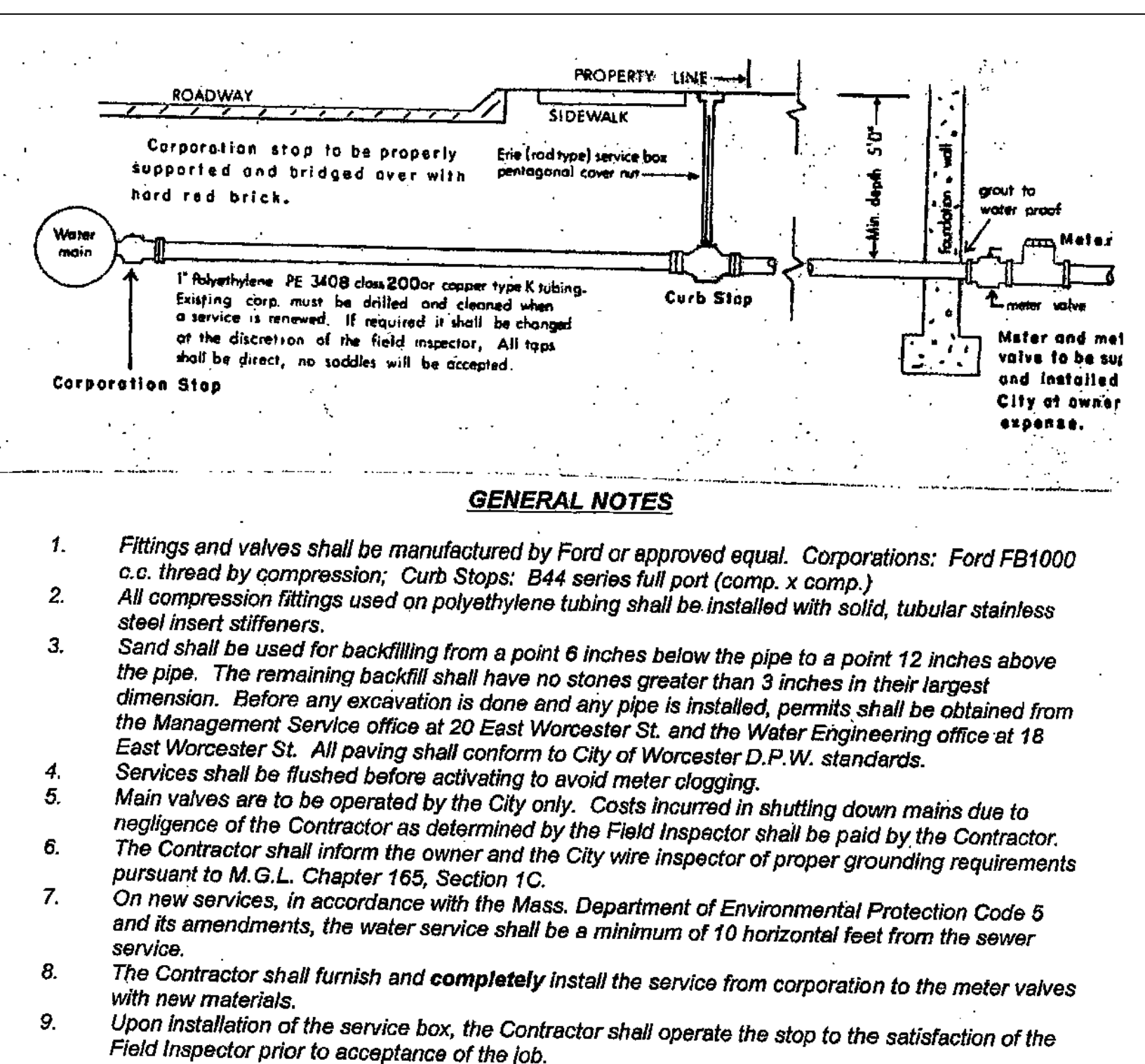
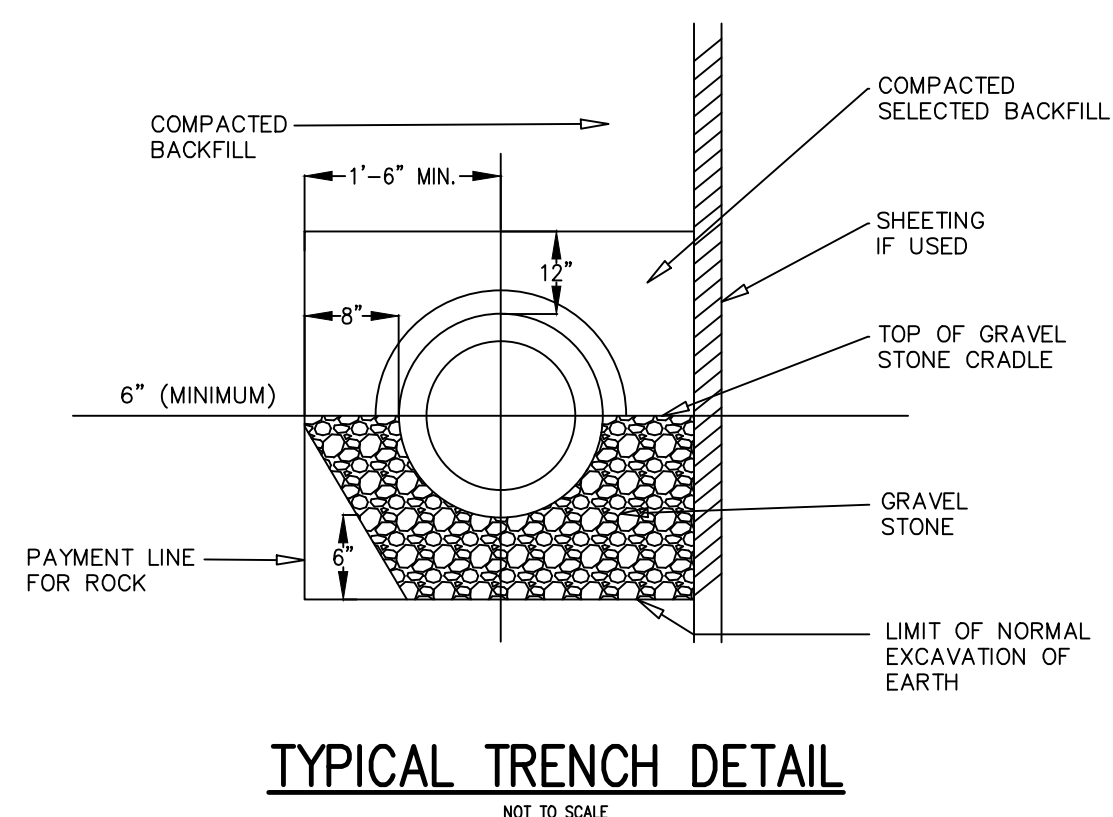
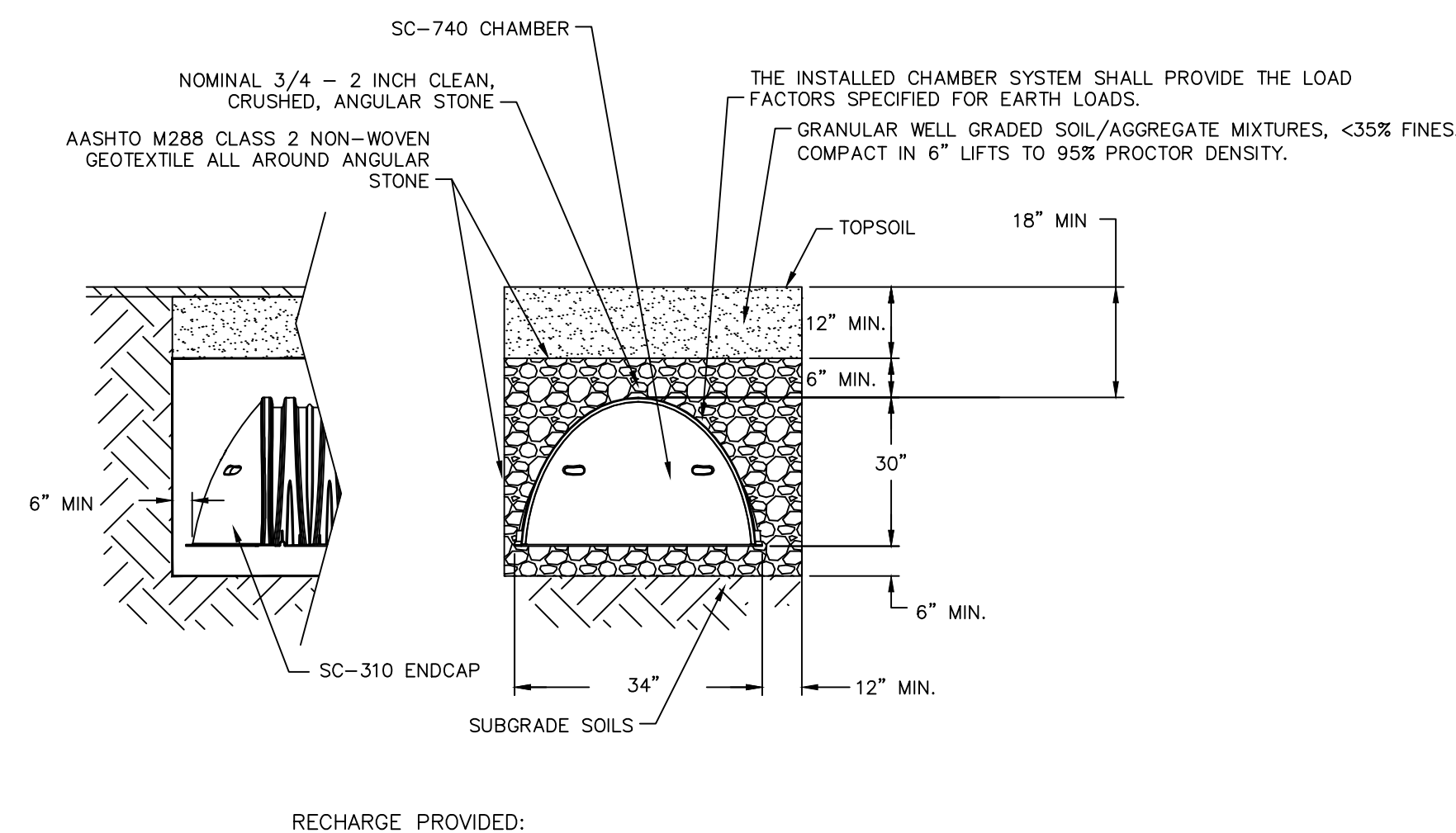
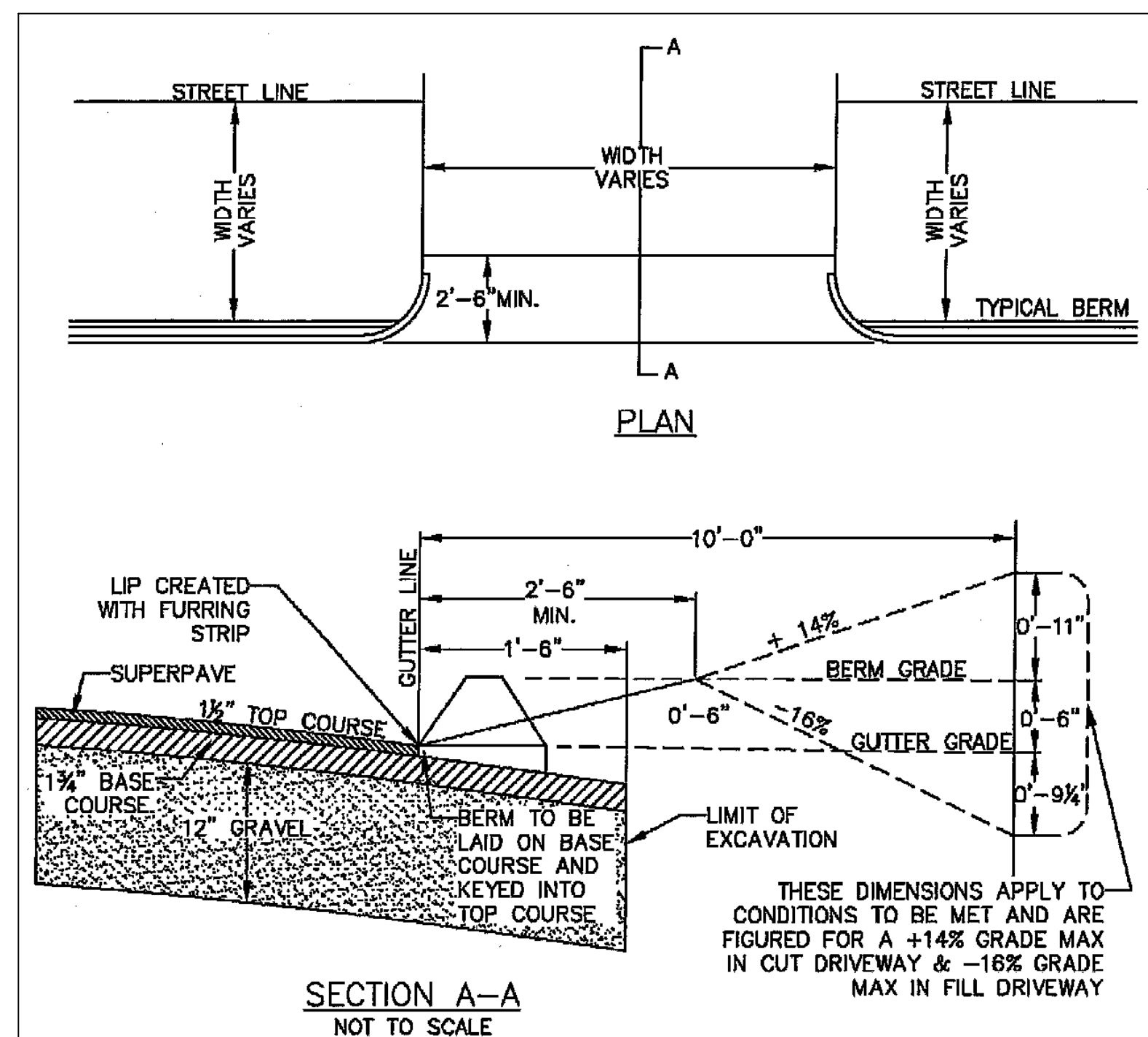
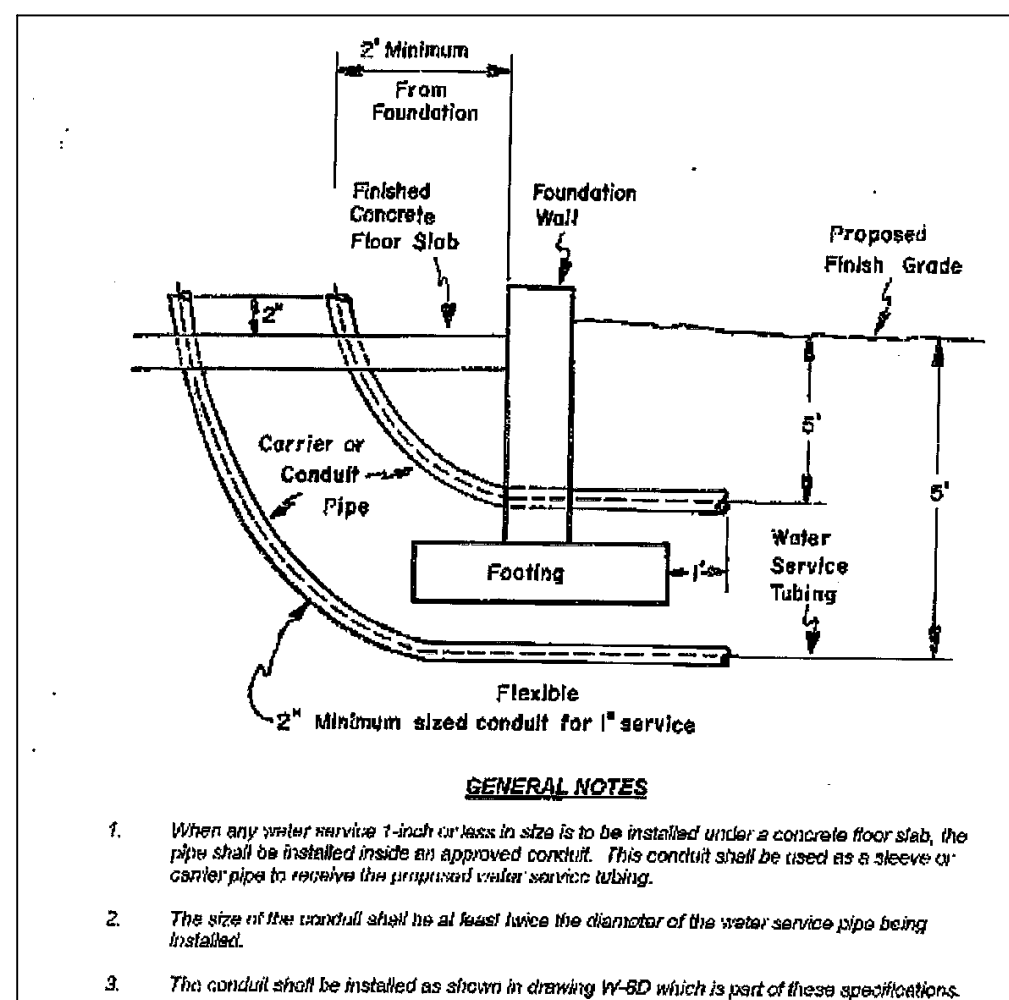
PROPERTY OWNER:
**ROBERT CLARK
84 CODERRE STREET
BOYLSTON, MASSACHUSETTS 01505**

PREPARED BY:
**J.M. GRENIER ASSOCIATES INC.
325 DONALD LYNCH BOULEVARD SUITE 100
MARLBOROUGH, MASSACHUSETTS 01752**

TELE. NO.: (508) 845-2500
SCALE: 1" = 20'
DATE: JULY 20, 2020

EROSION & SEDIMENTATION CONTROL PLAN

SHEET NO.: SHEET 6 OF 7
PROJECT NO.: G-572



REV. NO.	DATE	REVISION
TITLE:		
DEFINITIVE SITE PLAN FOR 224 BROOKS STREET WORCESTER, MASSACHUSETTS 01606		
PREPARED FOR:		
ROBERT CLARK 84 CODERRE STREET BOYLSTON, MASSACHUSETTS 01505		
PROPERTY OWNER:		
ROBERT CLARK 84 CODERRE STREET BOYLSTON, MASSACHUSETTS 01505		
PREPARED BY:		
J.M. GRENIER ASSOCIATES INC. 325 DONALD LYNCH BOULEVARD SUITE 100 MARLBOROUGH, MASSACHUSETTS 01752		
TELE NO.: (508) 845-2500		
SCALE:	AS SHOWN	DATE: JULY 20, 2020
DETAIL PLAN		
SHEET NO.:	PROJECT NO.:	
SHEET 7 OF 7	G-572	